

Home Inspection Report



2222 Anywhere St
Anywhere, TX 77777

Jay Frampton

PROPERTY INSPECTION REPORT

Prepared For: Your Name
Concerning: 2222 Anywhere St Anywhere, TX 77777
Inspection Date: XX/XX/XX
By: Inspector Name: Jay Frampton License Number: 10408 Date:
Signature:
Phone: 940-521-4668 License Number 10408
E-Mail: Jay@insightinspectionstx.com

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any sellers disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- * malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- * malfunctioning arc fault protection (AFCI) devices;
- * ordinary glass in locations where modern construction techniques call for safety glass;
- * malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- * malfunctioning carbon monoxide alarms;
- * excessive spacing between balusters on stairways and porches;
- * improperly installed appliances;
- * improperly installed or defective safety devices;
- * lack of electrical bonding and grounding; and
- * lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

I NINPD

Inspector Name: Jay Frampton
Company Name: Insight Inspection Services LLC
Address: PO Box 481
City State Zip: Graham TX 76450

Client Name: Your Name

Property Address: 2222 Anywhere St
City State Zip: Anywhere TX 77777

AGREEMENTS AND LIMITATIONS

This Inspection Report covers only the items listed and only on the present condition of those items. This Inspection Report reflects only if the items inspected are observed to be "operable" or "inoperable" at the time of the inspection, that is, whether such items at this time are observed to serve the purpose for which they are ordinarily intended. Furthermore, this Inspection Report reflects only those items that are reasonably accessible and observable at the time of the inspection. NO REPRESENTATION OR COMMENT is made concerning any latent defect or defects not reasonably accessible or observable at the time of the inspection or of items which require the removal of major or permanent covering. NO REPRESENTATION IS MADE CONCERNING ANY OTHER CONDITION OR THE FUTURE PERFORMANCE OF ANY ITEM. NO REPRESENTATION IS MADE AS TO THE ITEMS NOT SPECIFICALLY COMMENTED UPON. ALL WARRANTIES, EXPRESSED OR IMPLIED, NOT SPECIFICALLY STATED HEREIN ARE EXCLUDED AND DISCLAIMED. If a comment is made concerning the condition of any item, the Buyer is URGED to contact a QUALIFIED SPECIALIST to make further inspections or evaluations of that item.

Buyer agrees to notify CornerStone Inspections in writing of any complaints within (30) days of the inspection and must thereafter allow prompt re-inspection of the items under discussion; otherwise, the Buyer waives all claims for damages arising out of such complaint. If Buyer institutes any legal action concerning this inspection and fails to prevail on all of the causes of action alleged, Buyer shall be liable to CornerStone Inspections for any and all attorney's fees incurred in such action. Buyer, by accepting this Report or relying upon it in any way, expressly agrees to these Limitations and Disclaimers.

If a dispute arises out of or relate to the independent inspector's performance, and if, said dispute cannot be settled between the parties to this inspection by the standards themselves, the parties hereto hereby agree to settle the dispute by Binding Arbitration according to the Commercial Arbitration Rules of the American Arbitration Association, and judgment upon the award rendered by the arbitrator(s) may be entered in any event having jurisdiction thereof. The parties hereto further agree that a dispute submitted to one or their arbitrator(s), at either party's option, selected from the panel of arbitrators of the American Arbitration Association. All requests for arbitration shall be submitted to the Dallas Office of the American Arbitration Association and all arbitration administering cost shall be borne equally by all parties to the dispute.

Note: For more information concerning your rights, contact the Consumer Protection Division of the Attorney General's Office, your local District or County, or the attorney of your choice.

This Inspection Report is prepared exclusively for the Buyer named and is not transferable to anyone in any form. Buyer gives permission for (inspector) to discuss report findings with Real Estate agents, specialist or repair persons for the sake of clarification.

I FULLY and COMPLETELY understand that this inspection is not a warranty or guarantee. This inspection is essentially visual, not technically exhaustive and does not imply every defect will be discovered.

Signature:

Inspection Date: XX/XX/XX

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I. STRUCTURAL SYSTEMS

☐ ☐ ☐ ☒ A. Foundations

Type of Foundation: Pier and beam, with poured in place, concrete grade beam

Comments: Pier and Beam

The foundation has had some settlement; the amount of settlement observed is not uncommon to see in this region. This is a cursory and visual observation of the conditions and circumstances present at the time of this inspection.

Cracking of the exterior brick veneer noted on E and W facades, appears consistent with general settlement in the vicinities. Continued observation is recommended, if additional concerns exist contact a licensed professional structural engineer.

Insufficient ventilation of the crawl space is present. No vapor barrier or flooring insulation are in place. Under today's building standards these would be required. One square foot of free venting area should be supplied for each 150 square feet of living space. Crawl space should be vented to the building's exterior.

Soil under the home was mildly damp at the time of inspection, possible due to ground moisture. Increased ventilation is recommended. If additional concerns exist contact a licensed structural engineer for further evaluation and repairs.

Crawl space access under home provided inside hall closet under stair. Areas under the kitchen and laundry could not be accessed due to limited head room and ducting blockages.

If additional concerns exist contact a licensed structural engineer for further evaluation and repairs.



Notice: Watering your foundation is very important in this region. Please refer to the foundation watering program in the home maintenance guide

Notice: Highly plastic clay soils, as are typically found in this region, exhibit a great amount of expansion and contraction with varying moisture contents. Which this type of expansion and contraction of the soils, slab on grade home and traditional / modern pier and beam homes will experience some degree of foundation distress. You should expect to see deflection cracks in the exterior brick veneer, drywall cracks and tiled flooring cracks.

Notice: The inspection of the foundation may show it to be functioning as intended or having movement typical to this region, at the time of inspection. This does not guarantee the future life or failure of the foundation, but is a visual and cursory observation of the conditions

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and circumstances at the time of inspection. The inspection is not a structural engineer. This inspection is not an engineering report and should not be considered one. If any cause for concern is noted on this report or if you want further evaluation you should consider and evaluation by a licensed professional structural engineer.

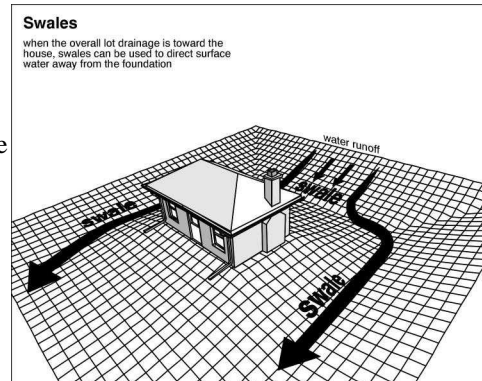
☐☐☐☒ **B. Grading and Drainage** - Comments: Minor slope,
Home is above street grade storm water appears to shed around the home
toward the N and S sides of lot.

No guttering is present on this structure. Under today's building standards these
are recommended, to assist in storm water discharge, and minimize erosion.

It is recommended that the flow of storm water runoff not be obstructed by
addition of flower beds, or walks. Under current building standards, the
grading around the home should drop 6" within the first 10' on all sides of the
structure.

Periodic inspections of yard during periods of rainfall is recommended to
determine any standing water issues, and resolve as needed.

If additional concerns exist contact a licensed building contractor for further
evaluation.



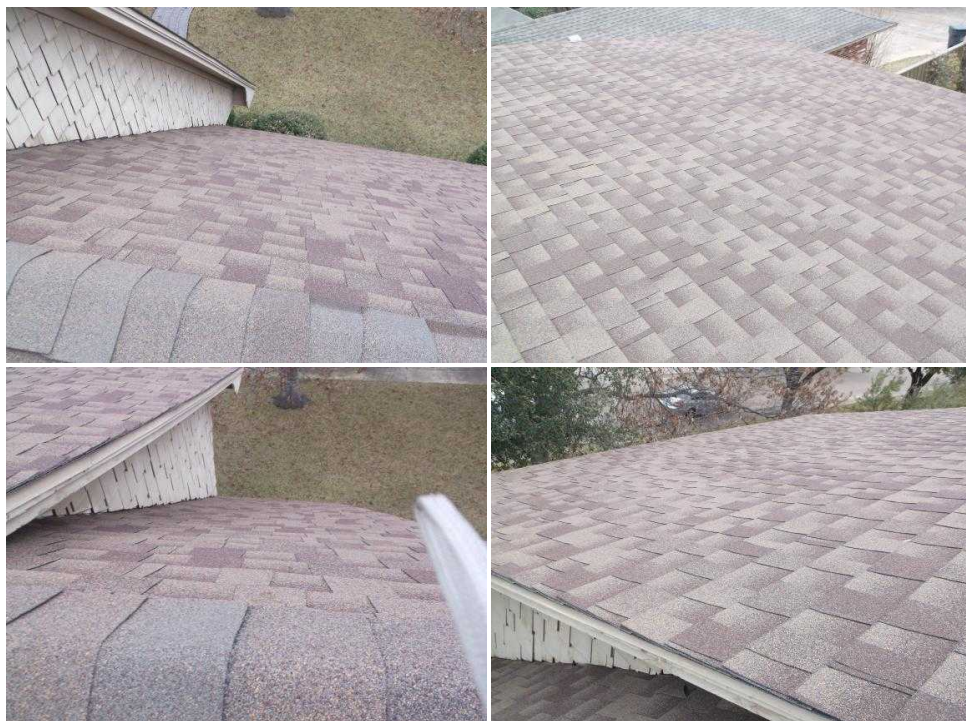
☒☐☐☐ **C. Roof Covering Materials**
Type of Roof Covering: 35 year asphalt laminate shingle

Viewed from: Walked on roof

Comments: Asphalt shingle

Roof covering appears to function as intended at the time of this inspection. If additional concerns exist contact a licensed,
professional roofing contractor for further evaluation.

General observation: Removal of tree debris from roof covering is recommended, as this can aid in insect intrusions and
moisture issues.



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Types(s) of Roof Covering: (continued)



Notice: The inspector is not to - Determine the remaining life expectancy of the roof covering. Inspect the roof covering from the roof level if in the inspectors reasonable judgement the inspector cannot safely reach or stay on the roof, or significant damage to the roof covering materials may result from walking on the roof. The inspector ins not required to determine the number of layers of roof covering material, identify latent hail damage, or provide an exhaustive list of locations of water penetrations or prior repairs. If additional concerns exist, it is recommended that a licensed professional roofing contractor be consulted for further evaluation.

☐☐☐☒ **D. Roof Structures and Attics**

Viewed from: Pull down stair in hallway
Approximate Average Depth of Insulation: 10-12" blown in cellulous fiber
Comments: 2x6 Rafter
4 attic entries provided.

Attic insulation levels currently in the attic space is below the minimum level for a home built today. Today's building standard is R38 value, which is equal to approximately 18-20" of blown in loose fill type insulation. The additional insulation will help significantly reduce your energy consumption.

Vertical fiberglass batt insulation is pulling away securing is recommended. This insulated portion of the wall appear to be the upper stairwell wall.

If additional concerns exist contact a licensed, professional building contractor for further evaluation.



Client: Your Name

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Notice: The inspector is not required to enter attics or unfinished spaces where openings are less than 22" by 30" or headroom is less than 30". Operate powered ventilators or provide an exhaustive list of location of water penetrations.

☐ ☐ ☐ ☒ **E. Walls (Interior and Exterior)** - Comments: Brick, Wood,

Loose peeling paint noted in several locations around fascia and soffit areas, recommend scraping, and sealing with quality paint for longevity.

Base of vertical siding on W facade display wood rot, continued observation and repair as needed.

Unpainted wood noted in vicinity of electric meter base, recommend sealing with quality paint for longevity.

Loose wood shingle on S exterior wall noted, replacement is recommended.

Cracking of interior grouted joints in shower surround noted, recommend regrouting or sealing with approved sealant to prevent water intrusions behind tiled surfaces.

If additional concerns exist contact a licensed building contractor for further evaluation.



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E. Walls (Interior and Exterior) (continued)



☐☐☐☒ **F. Ceilings and Floors** - Comments: Drywall, Cracking of the flooring tile upstairs bathroom is noted, continued observation and repair as needed.

Staining of interior water heater drywall ceiling noted, appears to be due to past water intrusions, continued observation is recommended. Area appears dry at the time of this inspection. If additional concerns exist contact a licensed, professional building contractor for further evaluation.



☐☐☐☒ **G. Doors (Interior and Exterior)** - Comments: Hollow wood, Door between garage and dining is hollow core. Under today's building standards the door should be steel or solid core, and have a self closing mechanism, to achieve the proper fire rating. Consideration to replacement is recommended, as this is a safety issue.

If additional concerns exist contact a licensed building contractor for further evaluation.

☐☐☐☒ **H. Windows** - Comments: Aluminum single hung, Windows consist of single glazed glass units in aluminum frames with storm windows.

Sash lock damaged upstairs bathroom window.

If additional concerns exist contact a licensed window specialist.

Notice: Signs of seal loss in the thermal pane windows may appear and disappear as temperature and humidity change. Some windows with lost seals may not be evident at the time of inspection. Windows are only checked for obvious fogging. If some lost thermal pane window seals were noted, we recommend all windows be rechecked by a professional windows specialist for further evaluation prior to closing.

☒☐☐☐ **I. Stairways (Interior and Exterior)** - Comments: Wood stairs with wood handrails, Appears to function as intended at the time of this inspection.

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☐☐☐☒ **J. Fireplaces and Chimneys** - Comments: Brick,

Spalling of exterior brick noted on upper chimney surface, this occurs over time as the brick ages, and due to the freeze / thaw cycles. Continued observation and repair as needed.

Damper blocking is required under today's building standards for gas log units. This blocks the damper so continual exhausting of combustion gasses occurs.

If additional concerns exist contact a licensed professional chimney fireplace contractor for further evaluation.



☒☐☐☐ **K. Porches, Balconies, Decks, and Carports** - Comments: Concrete, Appears to be functioning as intended at the time of this inspection. If additional concerns exist contact a licensed building contractor for further evaluation.

☒☐☐☐ **L. Other** - Comments: Wood fencing,

General observation: Sealing of wood fencing is recommended on a periodic maintenance schedule to aid in longevity of wood supports and surfaces.



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II. ELECTRICAL SYSTEMS

☒☐☐☐ **A. Service Entrance and Panels** - Comments: Above ground,
200 Amp service is overhead to the W side of garage. Service panel is located inside garage W wall.

Service panel appears to have been upgraded from original service panel, as a junction box is present directly above panel.

Service panel appears to function as intended at the time of this inspection. If additional concerns exist contact a licensed electrical contractor for further evaluation.



☐☐☐☒ **B. Branch Circuits, Connected Devices, and Fixtures**

Type of Wiring: Romex

Comments: Copper and aluminum

Permanent use of extension cording noted on front N exterior wall and inside garage. This is no longer an acceptable practice.

Loose conduit and junction box noted on exterior W wall, securing is recommended.

Exterior outlets should be properly covered with weather tight coverings.

Open switch box noted in garage attic space, proper switch cover should be installed.

Random sampling of outlet and switches, did reveal pigtail. This is used to transition between the aluminum wire and outlet. This is a common practice with homes of this era. If additional concerns exist contact a licensed electrical contractor for further evaluation.

GFCI protected outlets are needed in all restroom, kitchen (within 6' of sink basin), exterior, and garage wall outlets.

Porcelain lamp based fixtures in closets are no longer acceptable under today's building standards. The concern is an object striking the exposed lamp bulb, exposing the filaments.

Hot and neutral reversed polarity outlet noted in master bath, and upstairs closet / office.

Open grounding noted in several outlets and indicated with orange sticker dots: entry way, dining, living room, and laundry.

If additional concerns exist contact a licensed electrical contractor for further evaluation.

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III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

☒☐☐☐ **A. Heating Equipment**

Type of Systems: Forced air

Energy Sources: Natural gas

Comments:

Two furnaces present, located in upstairs living and down stairs living spaces.

Units appear to be functioning as intended at the time of this inspection. If additional concerns exist contact a licensed HVAC contractor for further evaluation.

Heating equipment specific limitations: The heating elements were tested for continuity but were not physically observed. The heating elements are located within the heater cabinet that would require specialized tools to access and reassemble. If the inspector were to remove the elements under these conditions, the HVAC warranty could be voided. If any concerns exist about the physical conditions of the heating elements a qualified licensed HVAC technician should be contractor prior to closing to fully evaluate the HVAC equipment.

☐☐☐☒ **B. Cooling Equipment**

Type of Systems: Forced air

Comments:

Location: W side (upstairs)

Capacity: 3 ton outside, 2006

Return: 59 degrees, Supply: 40 degrees, Differential: 19 degrees

Ideal Temp: 19 +/- 4 degrees.

Outside ambient temperature at the time of inspection: 50 degrees F..

Rusting inside secondary collection pan indicates the primary condensate drain line has backed up in the past. Continued observation and repair as needed.

Location: W side (downstairs)

Capacity: 4 ton outside, 2008

Return: 58 degrees, Supply: 45 degrees, Differential: 13 degrees

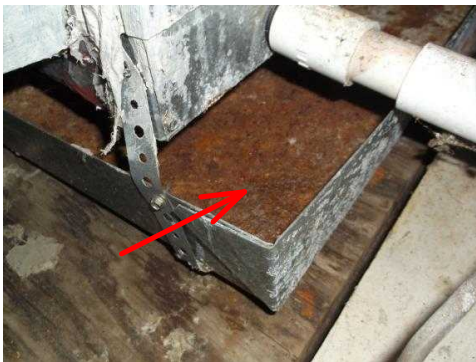
Ideal Temp: 19 +/- 4 degrees.

Outside ambient temperature at the time of inspection: 50 degrees F.

The unit is operating below acceptable limits, this unit requires a service call from a licensed HVAC contractor.

Rusting inside secondary collection pan indicates the primary condensate drain line has backed up in the past. Continued observation and repair as needed.

If additional concerns exist contact a licensed HVAC contractor for further evaluation.



Cooling equipment specific limitations: The indoor coils were not physically observed. The coils are located within the cabinet and or

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plenum that would require specialized tools to access and reassemble. If the inspector were to remove the ducting and or cut into the plenum under these conditions the HVAC warranty could be voided. If any concerns exist about the physical condition of the indoor coils a qualified licensed HVAC technician should be contractor prior to closing to fully evaluate the HVAC system.

Notice: Temperature differential reading are a fundamental standard for testing the proper operation of the cooling system. The normal acceptable range is considered approximately between 15 - 23 degrees F. total difference between the return and supply air. Unusual conditions such as excessive humidity, low outdoor temperatures, restricted air flow may indicate abnormal operation even though the equipment is functions basically as designed and occasional my indicate normal operation in spite of equipment malfunction.

☐☐☐☒ **C. Duct Systems, Chases, and Vents** - Comments: Metal,

Ducting insulating blankets under the home have been dislodged, recommend repairs and securing.

Under today's building standards, ducting under the home should not be in contact with the ground, this is present in several locations.

If additional concerns exist contact a licensed HVAC contractor for further evaluation.



IV. PLUMBING SYSTEM

☐☐☐☒ **A. Plumbing Supply, Distribution Systems and Fixtures**

Location of water meter: Curbside N

Location of main water supply valve: At meter

Static water pressure reading: 60PSI

Comments: Copper

Anti-siphon vacuum breakers are recommended under today's building standards to be used on each exterior hose bib. This will minimize the potential of contaminated potable water.

If additional concerns exist contact a licensed plumbing contractor for further evaluation.



☒☐☐☐ **B. Drains, Wastes, and Vents** - Comments: Cast iron, PVC,

Drains, Wastes and Vents appear to function as intended at the time of this inspection. If additional concerns exist contact a licensed plumbing contractor for further evaluation.

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B. Drains, Wastes, and Vents (continued)

On an older home, the drain and waste lines may appear to function as intended at the time of the inspection. However after occupancy of the home and stressing the systems with increased usage, systems may fail. The detection of collapsed drain lines can not be discovered with a visual inspection only, and requires specialized scopes and cameras, which is outside the perimeters of a general home inspection. If additional concerns exist contact a licensed plumbing contractor for further evaluation.

A full evaluation of the drains under kitchen and laundry was not made at the time of inspection due to limited head space and blockage of ducting and framing members.

If additional concerns exist contact a licensed plumbing contractor for further evaluation.

☐☐☐☒ **C. Water Heating Equipment**

Energy Sources: Natural gas

Capacity: 40 gallon, 2013

Comments:

Combustion air used for this unit is partially supplied from interior air. It is recommended that all interior air be blocked off, ideally with a solid door, forcing all combustion air from inside the attic space. The concern is carbon monoxide buildup. Further evaluation by a licensed HVAC contractor is recommended.

Vent pipe through attic appears to consist of asbestos type flue pipe. If additional concerns exist contact a licensed professional plumbing contractor for further evaluation.

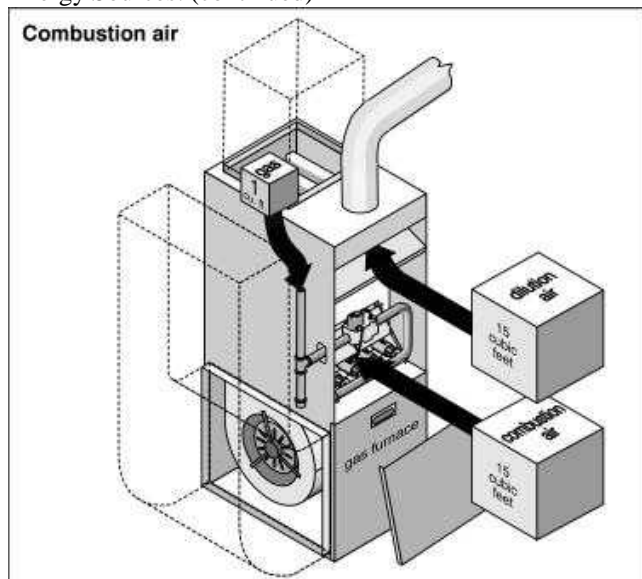
If additional concerns exist contact a licensed plumbing contractor for further evaluation.



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Energy Sources: (continued)



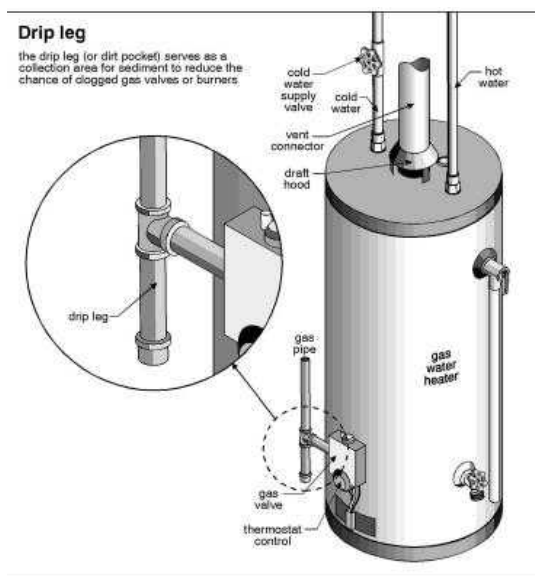
Notice: One cannot predict the actual life expectancy of a water heater. Client is encouraged to budget for a water heater. Life expectancy of a water heater on average is 7-12 years. Recommended monitoring and repair as needed. Consult a licensed plumbing contractor for further evaluation if any concerns exist.

☐ ☒ ☐ ☐ **D. Hydro-Massage Therapy Equipment** - Comments:

☐ ☐ ☐ ☒ **E. Other** - Comments: Natural gas,
Gas meter and main shutoff valve are located in the alley S side of lot.

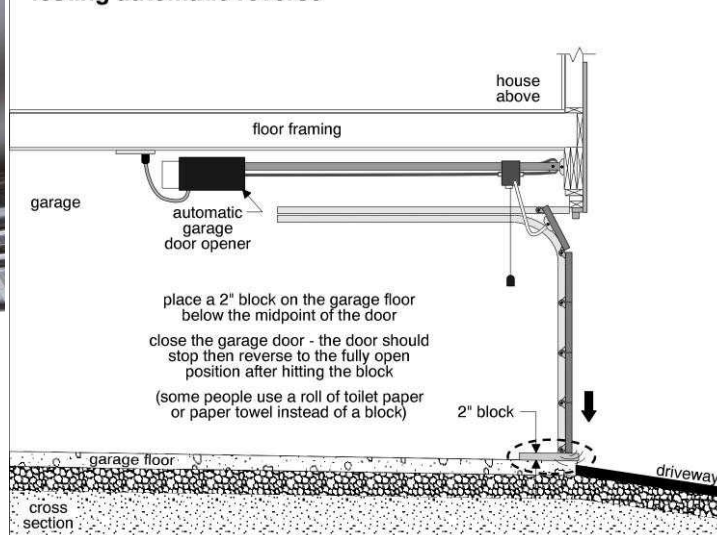
Sediment traps, required as close as possible to all gas fired appliances, under today's building standards. IRC09-2419.4 Further evaluation by a licensed plumbing contractor is recommended.

If additional concerns exist contact a licensed plumbing contractor.



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V. APPLIANCES☒☐☐☐ **A. Dishwashers** - Comments: Kenmore, Appears to function as intended at the time of this inspection.☐☐☒☐ **B. Food Waste Disposers** - Comments:☒☐☐☐ **C. Range Hood and Exhaust Systems** - Comments: Broan, Appeared to function as intended at the time of this inspection.☒☐☐☐ **D. Ranges, Cooktops, and Ovens** - Comments: Kenmore, General Electric, Appeared to function as intended at the time of this inspection.☐☐☒☐ **E. Microwave Ovens** - Comments:☐☐☒☐ **F. Mechanical Exhaust Vents and Bathroom Heaters** - Comments: Bath vent fan vents into the attic space. Under today's building standards this should be directed to the roofs exterior surface. The removal of all moisture from attic space will deter mold and pest activities.☐☐☒☐ **G. Garage Door Operators** - Comments:
Auto reverse sensor is set too high, the sensitivity should be adjusted. Two adjustment screws on the back or side of motor housing cover. Downward force and upward force, adjustment should be made to the downward force as it is currently set too high. Rule of thumb it should be set so that the door will auto - reverse before it collapses a roll of paper towels.**Testing automatic reverse**☐☐☒☐ **H. Dryer Exhaust Systems** - Comments:
Venting into garage is no longer an acceptable practice. This leads to increased condensation and moisture in the garage spaces. It is recommended to be routed to the roof covering surface or other venting to the exterior of the home.

Periodic cleaning of dryer ducting and venting is recommended to ensure no lint buildup occurs within, as this can lead to overheating and fire related issues. In addition the clothes dryer will operate efficiently. Ducting or venting are not disassembled during this inspection, if additional concerns exist contact a licensed appliance specialist for further evaluation.

☐☐☐☐ **I. Other** - Comments:

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VI. OPTIONAL SYSTEMS

- ☒☐☐☐ **A. Landscape Irrigation (Sprinkler) Systems** - Comments: All sides of home grass and beds.
System is comprised of 5 zones, controller located inside garage on W wall. System appeared to function as intended at the time of this inspection.

General observation: Some municipalities recommend the addition of a rain / freeze sensor, be added to systems.

If additional concerns exist contact a licensed irrigation contractor for further evaluation.

- ☐☐☐☒ **B. Swimming Pools, Spas, Hot Tubs, And Equipment**
Type of Construction: Gunnite with plaster
Comments: In ground
Grounding and bonding of pumps to the ground is recommended under today's building standards. In addition the pumps should be connected to a GFCI protected breaker.

Small leak noted during operation at the discharge side of main pump prior to filter.

Pool drain cover is no longer an acceptable type cover, under today's building standards this should be switch to a side intake or suction type.

It is recommended that upon receipt of the home, a licensed pool contractor be contacted for further evaluation of the chemical levels of pool water, and routine maintenance suggestions.

Homes with swimming pools should have a gate which self closes or swings shut after each opening.

If additional concerns exist contact a licensed pool contractor for further evaluation and repairs.



- ☐☐☒☐ **C. Outbuildings** - Comments:

- ☐☐☒☐ **D. Private Water Wells** (A coliform analysis is recommended)
Type of Pump:

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

D. Private Water Wells (continued)

Type of Storage Equipment:

Comments:

☐☐☒☐ **E. Private Sewage Disposal (Septic) Systems**

Type of System:

Location of Drain Field:

Comments:

☐☐☐☒ **F. Other** - Comments: Smoke detectors, Carbon Monoxide detector,

Minimum of one smoke detector in each sleeping area (bedroom) and any adjoining living spaces, is recommended under today's building standards. This is a safety concern, consideration should be given to the addition of this safety device.

Minimum of one carbon monoxide detector is recommended in a home with gas fired appliances.

Summary

I. STRUCTURAL SYSTEMS

A. Foundations Pier and Beam,

The foundation has had some settlement; the amount of settlement observed is not uncommon to see in this region. This is a cursory and visual observation of the conditions and circumstances present at the time of this inspection.

Cracking of the exterior brick veneer noted on E and W facades, appears consistent with general settlement in the vicinities. Continued observation is recommended, if additional concerns exist contact a licensed professional structural engineer.

Insufficient ventilation of the crawl space is present. No vapor barrier or flooring insulation are in place. Under today's building standards these would be required. One square foot of free venting area should be supplied for each 150 square feet of living space. Crawl space should be vented to the building's exterior.

Soil under the home was mildly damp at the time of inspection, possible due to ground moisture. Increased ventilation is recommended. If additional concerns exist contact a licensed structural engineer for further evaluation and repairs.

Crawl space access under home provided inside hall closet under stair. Areas under the kitchen and laundry could not be accessed due to limited head room and ducting blockages.

If additional concerns exist contact a licensed structural engineer for further evaluation and repairs. Type of Foundation(s): Pier and beam, with poured in place, concrete grade beam

B. Grading and Drainage Minor slope,

Home is above street grade storm water appears to shed around the home toward the N and S sides of lot.

No guttering is present on this structure. Under today's building standards these are recommended, to assist in storm water discharge, and minimize erosion.

It is recommended that the flow of storm water runoff not be obstructed by addition of flower beds, or walks. Under current building standards, the grading around the home should drop 6" within the first 10' on all sides of the structure.

Periodic inspections of yard during periods of rainfall is recommended to determine any standing water issues, and resolve as needed.

If additional concerns exist contact a licensed building contractor for further evaluation.

D. Roof Structures and Attics 2x6 Rafter,

4 attic entries provided.

Attic insulation levels currently in the attic space is below the minimum level for a home built today. Today's building standard is R38 value, which is equal to approximately 18-20" of blown in loose fill type insulation. The additional insulation will help significantly reduce your energy consumption.

Vertical fiberglass batt insulation is pulling away securing is recommended. This insulated portion of the wall appear to be the upper stairwell wall.

If additional concerns exist contact a licensed, professional building contractor for further evaluation.

Viewed From: Pull down stair in hallway Approximate Average Depth of Insulation: 10-12" blown in cellulous fiber

Summary (continued)

E. Walls (Interior and Exterior) Brick, Wood,

Loose peeling paint noted in several locations around fascia and soffit areas, recommend scraping, and sealing with quality paint for longevity.

Base of vertical siding on W facade display wood rot, continued observation and repair as needed.

Unpainted wood noted in vicinity of electric meter base, recommend sealing with quality paint for longevity.

Loose wood shingle on S exterior wall noted, replacement is recommended.

Cracking of interior grouted joints in shower surround noted, recommend regrouting or sealing with approved sealant to prevent water intrusions behind tiled surfaces.

If additional concerns exist contact a licensed building contractor for further evaluation.

F. Ceilings and Floors Drywall,

Cracking of the flooring tile upstairs bathroom is noted, continued observation and repair as needed.

Staining of interior water heater drywall ceiling noted, appears to be due to past water intrusions, continued observation is recommended. Area appears dry at the time of this inspection. If additional concerns exist contact a licensed, professional building contractor for further evaluation.

G. Doors (Interior and Exterior) Hollow wood,

Door between garage and dining is hollow core. Under today's building standards the door should be steel or solid core, and have a self closing mechanism, to achieve the proper fire rating. Consideration to replacement is recommended, as this is a safety issue.

If additional concerns exist contact a licensed building contractor for further evaluation.

H. Windows Aluminum single hung,

Windows consist of single glazed glass units in aluminum frames with storm windows.

Sash lock damaged upstairs bathroom window.

If additional concerns exist contact a licensed window specialist.

J. Fireplaces and Chimneys Brick,

Spalling of exterior brick noted on upper chimney surface, this occurs over time as the brick ages, and due to the freeze / thaw cycles. Continued observation and repair as needed.

Damper blocking is required under today's building standards for gas log units. This blocks the damper so continual exhausting of combustion gasses occurs.

If additional concerns exist contact a licensed professional chimney fireplace contactor for further evaluation.

II. ELECTRICAL SYSTEMS

B. Branch Circuits, Connected Devices, and Fixtures Copper and aluminum,

Permanent use of extension cording noted on front N exterior wall and inside garage. This is no longer an acceptable practice.

Loose conduit and junction box noted on exterior W wall, securing is recommended.

Exterior outlets should be properly covered with weather tight coverings.

Open switch box noted in garage attic space, proper switch cover should be installed.

Summary (continued)

B. Branch Circuits, Connected Devices, and Fixtures (continued)

Random sampling of outlet and switches, did reveal pigtail. This is used to transition between the aluminum wire and outlet. This is a common practice with homes of this era. If additional concerns exist contact a licensed electrical contractor for further evaluation.

GFCI protected outlets are needed in all restroom, kitchen (within 6' of sink basin), exterior, and garage wall outlets.

Porcelain lamp based fixtures in closets are no longer acceptable under today's building standards. The concern is an object striking the exposed lamp bulb, exposing the filaments.

Hot and neutral reversed polarity outlet noted in master bath, and upstairs closet / office.

Open grounding noted in several outlets and indicated with orange sticker dots: entry way, dining, living room, and laundry.

If additional concerns exist contact a licensed electrical contractor for further evaluation. Type of Wiring:
Romex

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

B. Cooling Equipment

Location: W side (upstairs)

Capacity: 3 ton outside, 2006

Return: 59 degrees, Supply: 40 degrees, Differential: 19 degrees

Ideal Temp: 19 +/- 4 degrees.

Outside ambient temperature at the time of inspection: 50 degrees F..

Rusting inside secondary collection pan indicates the primary condensate drain line has backed up in the past. Continued observation and repair as needed.

Location: W side (downstairs)

Capacity: 4 ton outside, 2008

Return: 58 degrees, Supply: 45 degrees, Differential: 13 degrees

Ideal Temp: 19 +/- 4 degrees.

Outside ambient temperature at the time of inspection: 50 degrees F.

The unit is operating below acceptable limits, this unit requires a service call from a licensed HVAC contractor.

Rusting inside secondary collection pan indicates the primary condensate drain line has backed up in the past. Continued observation and repair as needed.

If additional concerns exist contact a licensed HVAC contractor for further evaluation. Type of System: Forced air

C. Duct Systems, Chases, and Vents Metal,

Ducting insulating blankets under the home have been dislodged, recommend repairs and securing.

Under today's building standards, ducting under the home should not be in contact with the ground, this is present in several locations.

If additional concerns exist contact a licensed HVAC contractor for further evaluation.

Page 21 of 23

Summary (continued)

IV. PLUMBING SYSTEM

A. Plumbing Supply, Distribution Systems and Fixtures Copper,

Anti-siphon vacuum breakers are recommended under today's building standards to be used on each exterior hose bib. This will minimize the potential of contaminated potable water.

If additional concerns exist contact a licensed plumbing contractor for further evaluation. Location of water meter: Curbside N Location of main water supply valve: At meter Static water pressure reading: 60PSI

C. Water Heating Equipment

Combustion air used for this unit is partially supplied from interior air. It is recommended that all interior air be blocked off, ideally with a solid door, forcing all combustion air from inside the attic space. The concern is carbon monoxide buildup. Further evaluation by a licensed HVAC contractor is recommended.

Vent pipe through attic appears to consist of asbestos type flue pipe. If additional concerns exist contact a licensed professional plumbing contractor for further evaluation.

If additional concerns exist contact a licensed plumbing contractor for further evaluation. Energy Source: Natural gas Capacity: 40 gallon, 2013

E. Other Natural gas,

Gas meter and main shutoff valve are located in the alley S side of lot.

Sediment traps, required as close as possible to all gas fired appliances, under today's building standards. IRC09-2419.4 Further evaluation by a licensed plumbing contractor is recommended.

If additional concerns exist contact a licensed plumbing contractor.

V. APPLIANCES

F. Mechanical Exhaust Vents and Bathroom Heaters Bath vent fan vents into the attic space. Under today's building standards this should be directed to the roofs exterior surface. The removal of all moisture from attic space will deter mold and pest activities.

G. Garage Door Operators

Auto reverse sensor is set too high, the sensitivity should be adjusted. Two adjustment screws on the back or side of motor housing cover. Downward force and upward force, adjustment should be made to the downward force as it is currently set too high. Rule of thumb it should be set so that the door will auto - reverse before it collapses a roll of paper towels.

H. Dryer Exhaust Systems

Venting into garage is no longer an acceptable practice. This leads to increased condensation and moisture in the garage spaces. It is recommended to be routed to the roof covering surface or other venting to the exterior of the home.

VI. OPTIONAL SYSTEMS

B. Swimming Pools, Spas, Hot Tubs, And Equipment In ground,

Grounding and bonding of pumps to the ground is recommended under today's building standards. In addition the pumps should be connected to a GFCI protected breaker.

Small leak noted during operation at the discharge side of main pump prior to filter.

Pool drain cover is no longer an acceptable type cover, under today's building standards this should be switch to a side intake or suction type.

It is recommended that upon receipt of the home, a licensed pool contractor be contacted for further evaluation of the chemical levels of pool water, and routine maintenance suggestions.

Homes with swimming pools should have a gate which self closes or swings shut after each opening.

Summary (continued)

B. Swimming Pools, Spas, Hot Tubs, And Equipment (continued)

If additional concerns exist contact a licensed pool contractor for further evaluation and repairs. Type of
Construction: Gunnite with plaster

F. Other Smoke detectors, Carbon Monoxide detector,

Minimum of one smoke detector in each sleeping area (bedroom) and any adjoining living spaces, is recommended under today's building standards. This is a safety concern, consideration should be given to the addition of this safety device.

Minimum of one carbon monoxide detector is recommended in a home with gas fired appliances.