

# Home Inspection Report



111 Anywhere St.  
Anywhere, TX 77777

# Jay Frampton

## PROPERTY INSPECTION REPORT

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**Prepared For:** Your Name  
**Concerning:** 111 Anywhere St Anywhere, TX 77777  
**Inspection Date:** XX/XX/XX  
**By:** Inspector Name: Jay Frampton License Number: 10408 Date:  
Signature:  
Phone: 940-521-4668 License Number 10408  
E-Mail: jay@insightinspectionstx.com

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### PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at [www.trec.texas.gov](http://www.trec.texas.gov).

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

**THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS.** The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any sellers disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

**ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION.** When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

### **TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES**

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- \* malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- \* malfunctioning arc fault protection (AFCI) devices;
- \* ordinary glass in locations where modern construction techniques call for safety glass;
- \* malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- \* malfunctioning carbon monoxide alarms;
- \* excessive spacing between balusters on stairways and porches;
- \* improperly installed appliances;
- \* improperly installed or defective safety devices;
- \* lack of electrical bonding and grounding; and
- \* lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

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### **ADDITIONAL INFORMATION PROVIDED BY INSPECTOR**

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**I=Inspected    NI=Not Inspected    NP=Not Present    D=Deficient**

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I NINPD

Inspector Name: Jay Frampton  
Company Name: Insight Inspection Services LLC  
Address: PO Box 481  
City State Zip: Graham, TX 76450

Client Name: Your Name

Property Address: 111 Anywhere St  
City State Zip: Anywhere, TX 77777

#### AGREEMENTS AND LIMITATIONS

This Inspection Report covers only the items listed and only on the present condition of those items. This Inspection Report reflects only if the items inspected are observed to be "operable" or "inoperable" at the time of the inspection, that is, whether such items at this time are observed to serve the purpose for which they are ordinarily intended. Furthermore, this Inspection Report reflects only those items that are reasonably accessible and observable at the time of the inspection. NO REPRESENTATION OR COMMENT is made concerning any latent defect or defects not reasonably accessible or observable at the time of the inspection or of items which require the removal of major or permanent covering. NO REPRESENTATION IS MADE CONCERNING ANY OTHER CONDITION OR THE FUTURE PERFORMANCE OF ANY ITEM. NO REPRESENTATION IS MADE AS TO THE ITEMS NOT SPECIFICALLY COMMENTED UPON. ALL WARRANTIES, EXPRESSED OR IMPLIED, NOT SPECIFICALLY STATED HEREIN ARE EXCLUDED AND DISCLAIMED. If a comment is made concerning the condition of any item, the Buyer is URGED to contact a QUALIFIED SPECIALIST to make further inspections or evaluations of that item.

Buyer agrees to notify CornerStone Inspections in writing of any complains within (30) days of the inspection and must thereafter allow prompt re-inspection of the items under discussion; otherwise, the Buyer waives all claims for damages arising out of such complaint. If Buyer institutes any legal action concerning this inspection and fails to prevail on all of the causes of action alleged, Buyer shall be liable to CornerStone Inspections for any and all attorney's fees incurred in such action. Buyer, by accepting this Report or relying upon it in any way, expressly agrees to these Limitations and Disclaimers.

If a dispute arises out of or relate to the independent inspector's performance, and if, said dispute cannot be settled between the parties to this inspection by the standards themselves, the parties hereto hereby agree to settle the dispute by Binding Arbitration according to the Commercial Arbitration Rules of the American Arbitration Association, and judgment upon the award rendered by the arbitrator(s) may be entered in any event having jurisdiction thereof. The parties hereto further agree that a dispute submitted to one or their arbitrator(s), at either party's option, selected from the panel of arbitrators of the American Arbitration Association. All requests for arbitration shall be submitted to the Dallas Office of the American Arbitration Association and all arbitration administering cost shall be borne equally by all parties to the dispute.

Note: For more information concerning your rights, contact the Consumer Protection Division of the Attorney General's Office, your local District or County, or the attorney of your choice.

This Inspection Report is prepared exclusively for the Buyer named and is not transferable to anyone in any form. Buyer gives permission for (inspector) to discuss report findings with Real Estate agents, specialist or repair persons for the sake of clarification.

I FULLY and COMPLETELY understand that this inspection is not a warranty or guarantee. This inspection is essentially visual, not technically exhaustive and does not imply every defect will be discovered.

Signature:

Inspection Date: XX/XX/XX

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## I. STRUCTURAL SYSTEMS

### ☐ ☐ ☐ ☒ A. Foundations

Type of Foundation: slab on grade

Comments: Poured

Evidence of past foundation repairs are present, noted several patches in concrete drive and walks which indicated piers were placed to stabilize the foundation. Obtaining the original warranty from the foundation contractor is recommended, as warranty may be transferable to a new owner. In addition the foundation report may have a scaled drawing of the location and type of piers placed.

If additional concerns exist contact a licensed structural engineer for further evaluation and repairs.

Continued observation is recommended, If additional concerns exist contact a licensed structural engineer for further evaluation and repairs.



Notice: Watering your foundation is very important in this region. Please refer to the foundation watering program in the home maintenance guide

Notice: Highly plastic clay soils, as are typically found in this region, exhibit a great amount of expansion and contraction with varying moisture contents. Which this type of expansion and contraction of the soils, slab on grade home and traditional / modern pier and beam homes will experience some degree of foundation distress. You should expect to see deflection cracks in the exterior brick veneer, drywall cracks and tiled flooring cracks.

Notice: The inspection of the foundation may show it to be functioning as intended or having movement typical to this region, at the time of inspection. This does not guarantee the future life or failure of the foundation, but is a visual and cursory observation of the conditions and circumstances at the time of inspection. The inspection is not a structural engineer. This inspection is not an engineering report and should not be considered one. If any cause for concern is noted on this report or if you want further evaluation you should consider and evaluation by a licensed professional structural engineer.



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☐ ☐ ☐ ☒ **B. Grading and Drainage** - Comments: Flat,

Home is above street grade, storm water appears to shed around the home toward the E and W sides of lot. Noted standing water in the alley or E side of lot, and along neighbors fence toward the N.

Limited guttering is present on this structure. Only on the E porch covering under today's building standards these are recommended around the entire perimeter of the home, to assist in storm water discharge, and minimize erosion.

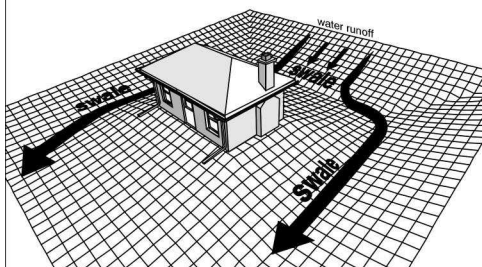
Recommend installing splash block at the base of the downspout to minimize erosion.

It is recommended that the flow of storm water runoff not be obstructed by addition of flower beds, or walks. Under current building standards, the grading around the home should drop 6" within the first 10' on all sides of the structure.

If additional concerns exist contact a licensed building contractor for further evaluation.

**Swales**

When the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation.

☐ ☐ ☐ ☒ **C. Roof Covering Materials**

Type of Roof Covering: 20 year 3 tab shingle, Single layer, Metal

Viewed from: Walked on roof

Comments: Asphalt shingle

Recommend securing foam closures on area between E patio cover and shingled roof, to prevent any water or pest intrusions.

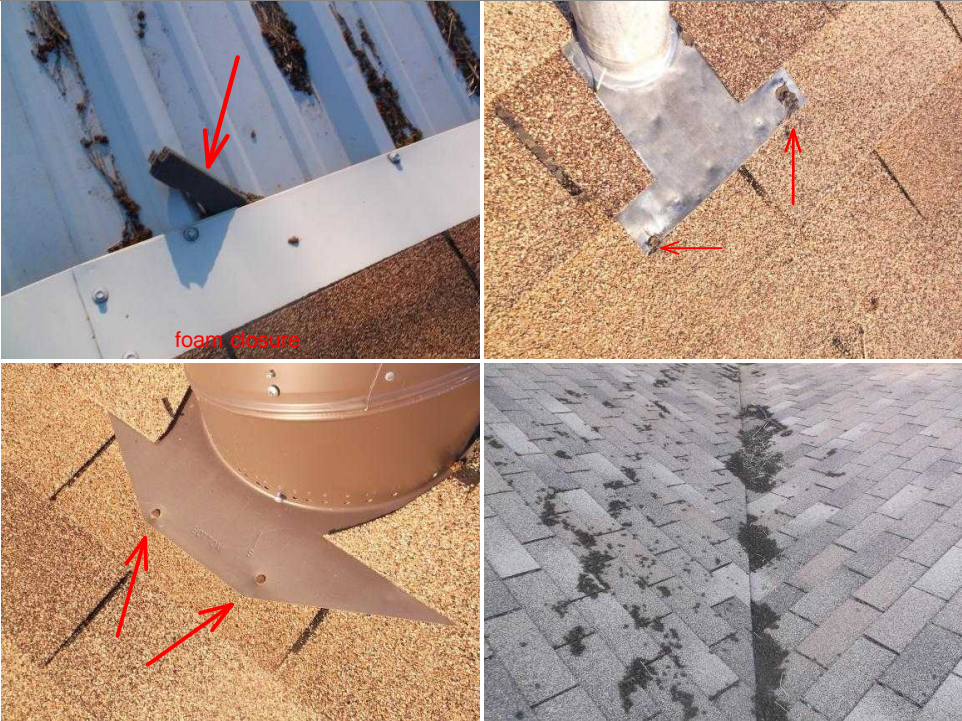
Recommend sealing exposed nail heads with roof sealant to ensure no water intrusions occur.

Cleaning of tree debris from the roof covering on a periodic maintenance schedule is recommended.

If additional concerns exist contact a licensed, professional roofing contractor for further evaluation.

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Notice: The inspector is not to - Determine the remaining life expectancy of the roof covering. Inspect the roof covering from the roof level if in the inspectors reasonable judgement the inspector cannot safely reach or stay on the roof, or significant damage to the roof covering materials may result from walking on the roof. The inspector ins not required to determine the number of layers of roof covering material, identify latent hail damage, or provide an exhaustive list of locations of water penetrations or prior repairs. If additional concerns exist, it is recommended that a licensed professional roofing contractor be consulted for further evaluation.

☐☐☐☒ **D. Roof Structures and Attics**

Viewed from: Attic crawl space in garage.  
Approximate Average Depth of Insulation: 4-6" blown in rock wool, 8-10" fiberglass batt  
Comments: 2x4 Truss  
Congested gabled end vent on S side is present, recommend periodic cleaning to ensure adequate air flow inside attic space.

Attic insulation levels currently in the attic space is below the minimum level for a home built today. Today's building standard is R38 value, which is equal to approximately 18-20" of blown in loose fill type insulation. The additional insulation will help significantly reduce your energy consumption.

If additional concerns exist contact a licensed, professional building contractor for further evaluation.

Notice: The inspector is not required to enter attics or unfinished spaces where openings are less than 22" by 30" or headroom is less than 30". Operate powered ventilators or provide and exhaustive list of location of water penetrations.

☐☐☐☒ **E. Walls (Interior and Exterior)** - Comments: Drywall, Wood,

Exterior fascia damage noted in several locations, repairs are recommended and sealing with a quality paint for longevity.

Soil to siding contact is present on the S and E facades of the home. Soil should be graded to a level 3-5" below the lowest course of brick, under today's building standards.

Cracking noted on the drywall above entry to garage. This appears to be due to general settlement of the foundation in the vicinity. Continued observation is recommended.

Shrubs close to the home should be trimmed back to allow proper ventilation to the home's exterior walls. Rule of thumb keep shrubs trimmed back 10-12" from exterior veneers.

If additional concerns exist contact a licensed building contractor for further evaluation.



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E. Walls (Interior and Exterior) (continued)



|                   |
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| Client: Your Name |
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☐☐☐☒ **F. Ceilings and Floors** - Comments: Drywall,  
Sealing the joint between the bathtub and tiled flooring is recommended to ensure no water intrusions occur.

Noted past patching of the ceiling in the living room, continued observation is recommended.

If additional concerns exist contact a licensed, professional building contractor for further evaluation.



☐☐☐☒ **G. Doors (Interior and Exterior)** - Comments: Hollow wood,  
Overhead garage door upper panel is damaged, repairs are recommended by a licensed professional overhead door contractor.

Weather stripping improvements recommended to the rear E entry door to garage.

Several doors are in need of adjustment to function properly: Master closet door strikes jamb, SW bedroom closet door not properly installed, entry closet rubs the jamb.

If additional concerns exist contact a licensed building contractor for further evaluation.



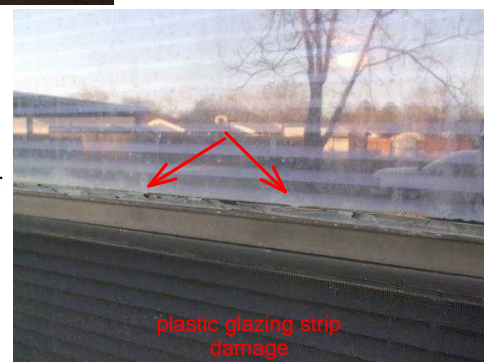
☐☐☐☒ **H. Windows** - Comments: Aluminum single hung,  
Windows appear to consist of the original aluminum framed single hung units.  
The plastic glazing strips on several on the windows have failed.

Thermal seal loss is noted on master bedroom, SW bedroom. This seal loss allows for fogging or condensate to collect between the panes of glass. Further evaluation by a professional window specialist is recommended.

SW bedroom window glass is cracked, appears to have been hit with a bb or something similar.

Window screening missing from dining, living, and master windows.

Tear noted to window screen kitchen sink area.



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H. Windows (continued)

Cleaning of windows, tracks, and lubrication of all windows is recommended, to ease operation.

If additional concerns exist contact a licensed window specialist.

Notice: Signs of seal loss in the thermal pane windows may appear and disappear as temperature and humidity change. Some windows with lost seals may not be evident at the time of inspection. Windows are only checked for obvious fogging. If some lost thermal pane window seals were noted, we recommend all windows be rechecked by a professional windows specialist for further evaluation prior to closing.

☐☐☒☐ **I. Stairways (Interior and Exterior)** - Comments:

☐☐☒☐ **J. Fireplaces and Chimneys** - Comments:

☒☐☐☐ **K. Porches, Balconies, Decks, and Carports** - Comments: Concrete,  
W carport covering appears to function as intended at the time of this inspection.

E porch covering appears to function as intended at the time of this inspection.

If additional concerns exist contact a licensed professional building contractor.

☐☐☐☒ **L. Other** - Comments: Wood fencing,  
Dilapidated wood fencing is noted in several areas, recommend replacement of damaged pickets.

## II. ELECTRICAL SYSTEMS

☐☐☐☒ **A. Service Entrance and Panels** - Comments: Buried service lateral lines,

200 Amp panel located on the interior garage NE corner. Insufficient clear space directly in front of service panel. Under today's standards area must be 36" x 30".

Open slots in the service panel cover should be sealed with appropriate plating.

Neutral and ground bonding within the service panel is present. Under today's building standards the ground and neutral conductors must terminate on separate buss bars.

One of the four screws securing the dead front cover was missing at the time of inspection.

Further evaluation by a licensed electrical contractor is recommended.



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☐ ☐ ☐ ☒ **B. Branch Circuits, Connected Devices, and Fixtures**

Type of Wiring: Romex

Comments: Copper

GFCI protected outlets are needed in all restroom, kitchen (within 6' of sink basin), exterior, and garage wall outlets.

Outlet cover needed at HVAC closet outlet.

Florescent lighting in garage did not activate from wall switch. Further investigation is recommended.

Master closet and SW closet lighting did not function, possibly bad light bulb.

Globe missing from light above kitchen sink.

Further evaluation by a licensed electrical contractor is recommended.

### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

☒ ☐ ☐ ☐ **A. Heating Equipment**

Type of Systems: Forced air

Energy Sources: Electric with Heat Pump

Comments:

Unit appears to be functioning as intended at the time of this inspection. If additional concerns exist contact a licensed HVAC contractor for further evaluation.

Heating equipment specific limitations: The heating elements were tested for continuity but were not physically observed. The heating elements are located within the heater cabinet that would require specialized tools to access and reassemble. If the inspector were to remove the elements under these conditions, the HVAC warranty could be voided. If any concerns exist about the physical conditions of the heating elements a qualified licensed HVAC technician should be contractor prior to closing to fully evaluate the HVAC equipment.

☒ ☐ ☐ ☐ **B. Cooling Equipment**

Type of Systems: Forced air

Comments:

Location: S side

Capacity: 3 ton outside, 2013

Return: 60 degrees, Supply: 39 degrees, Differential: 21 degrees

Ideal Temp: 19 +/- 4 degrees.

Outside ambient temperature at the time of inspection: 68 degrees F.

Unit appears to function as intended at the time of inspection.

General observations: Recommend trimming back of shrubs from beside the condenser unit, and wrapping refrigerant line with foam insulation.

If additional concerns exist contact a licensed HVAC contractor for further evaluation.

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Cooling equipment specific limitations: The indoor coils were not physically observed. The coils are located within the cabinet and or plenum that would require specialized tools to access and reassemble. If the inspector were to remove the ducting and or cut into the plenum under these conditions the HVAC warranty could be voided. If any concerns exist about the physical condition of the indoor coils a qualified licensed HVAC technician should be contractor prior to closing to fully evaluate the HVAC system.

Notice: Temperature differential reading are a fundamental standard for testing the proper operation of the cooling system. The normal acceptable range is considered approximately between 15 - 23 degrees F. total difference between the return and supply air. Unusual conditions such as excessive humidity, low outdoor temperatures, restricted air flow may indicate abnormal operation even though the equipment is functions basically as designed and occasional my indicate normal operation in spite of equipment malfunction.

☒ ☐ ☐ ☐ **C. Duct Systems, Chases, and Vents** - Comments: Insulated flex, Ducting appears to function as intended at the time of this inspection. If additional concerns exist contact a licensed HVAC contractor for further evaluation.

## IV. PLUMBING SYSTEM

### ☐ ☐ ☐ ☒ **A. Plumbing Supply, Distribution Systems and Fixtures**

Location of water meter: Unknown

Location of main water supply valve: Unknown

Static water pressure reading: 40 PSI

Comments: Copper

Location of water meter is unknown, possibly located on alley side of lot, however this area is overgrown.

Cracking of the commode tank lid in master bath is present. Recommend replacement of damaged lid.

Greening and corrosion noted at water supply valves under kitchen sink. No leak was present at the time of inspection, continued observation is recommended.

Anti-siphon vacuum breakers are recommended under today's building standards to be used on each exterior hose bib. This will minimize the potential of contaminated potable water.

Hose bib on rear E side of home, handle was not present. Repairs are recommended by a licensed plumbing contractor.

Further evaluation by a licensed plumbing contractor is recommended.



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☒ ☐ ☐ ☐ **B. Drains, Wastes, and Vents** - Comments: PVC,

Drains, Wastes and Vents appear to function as intended at the time of this inspection. If additional concerns exist contact a licensed plumbing contractor for further evaluation.

On an older home, the drain and waste lines may appear to function as intended at the time of the inspection. However after occupancy of the home and stressing the systems with increased usage, systems may fail. The detection of collapsed drain lines can not be discovered with a visual inspection only, and requires specialized scopes and cameras, which is outside the perimeters of a general home inspection. If additional concerns exist contact a licensed plumbing contractor for further evaluation.

☐ ☐ ☐ ☒ **C. Water Heating Equipment**

Energy Sources: Electric

Capacity: 50 Gallon, 2008

Comments:

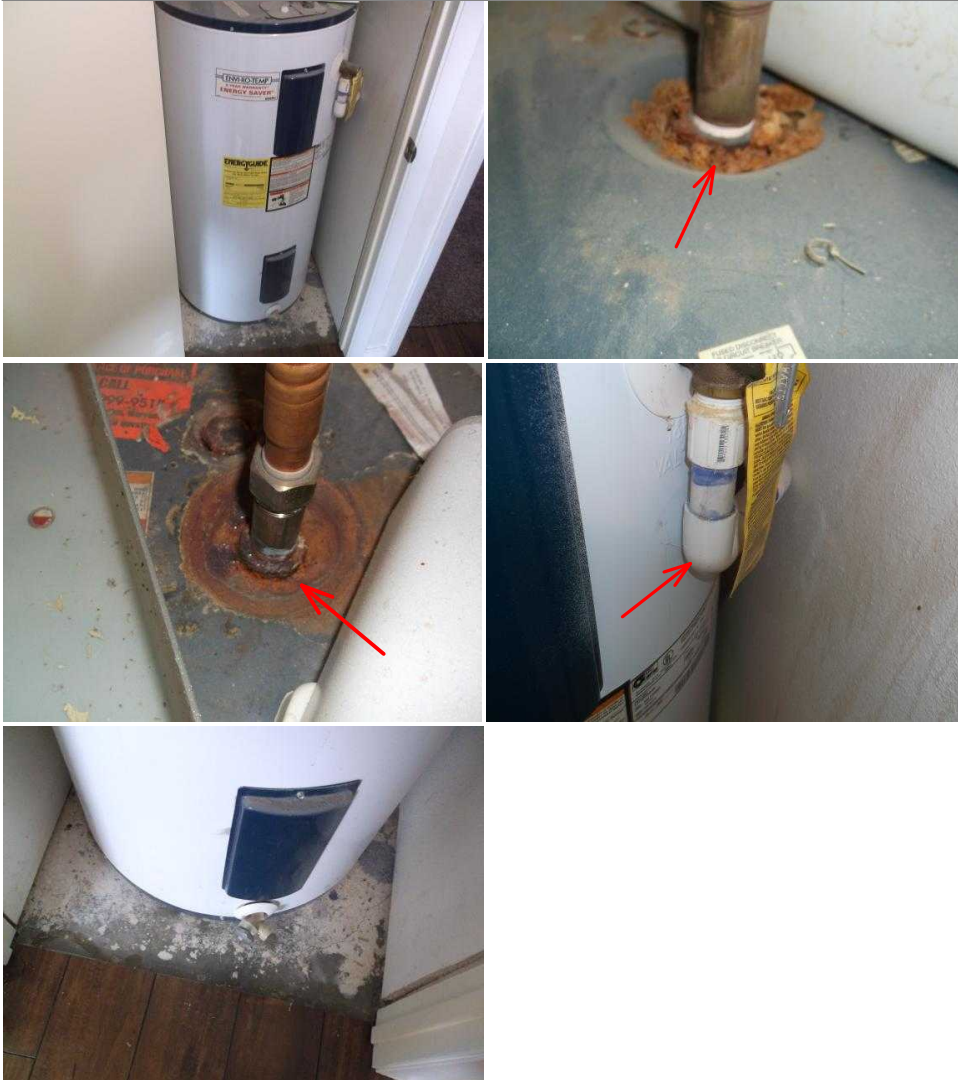
Corrosion noted at the water supply connections. This indicates past water leaking issues. Continued observation is recommended.

The temperature pressure and relief valve is not properly plumbed. It is currently plumbed using PVC, this should be CPVC to withstand heat, the drain line runs uphill through the attic to a plumbing vent stack. This should be directed to the exterior of the home and only be run horizontal or in a downward fashion. Further evaluation by a licensed plumbing contractor is recommended.

No safety collection pan is present under this unit. According to today's building standards a safety collection pan is recommended under any unit that, if leaking may damage the household belongings. This unit backs up to the master closet wall. Installation of a safety collection pan is recommended, and properly plumbed to safely drain away. Contact a licensed plumbing contractor for further evaluation and repairs.

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Notice: One cannot predict the actual life expectancy of a water heater. Client is encouraged to budget for a water heater. Life expectancy of a water heater on average is 7-12 years. Recommended monitoring and repair as needed. Consult a licensed plumbing contactor for further evaluation if any concerns exist.

☐ ☐ ☒ ☐ **D. Hydro-Massage Therapy Equipment** - Comments:

☐ ☐ ☒ ☐ **E. Other** - Comments:

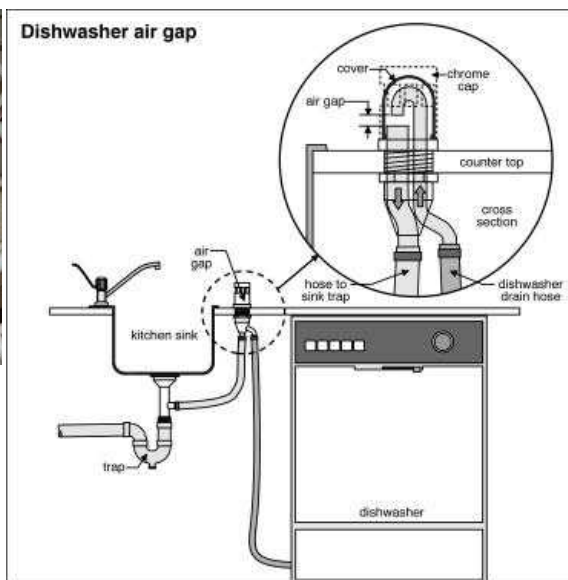
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**V. APPLIANCES**

- ☐☐☐☒ **A. Dishwashers** - Comments: Kenmore,  
Corrosion noted on the interior dish baskets, replacement or repair is recommended.

No air gap is present on the drain line of this washer unit. This ensures no back up of water from sink basin into the lower, dish washer unit. This is recommended either by installing an air gap device, or creating an air gap using the drain tubing, in an arched fashion under the sink basin. According to today's building standards.



- ☐☐☒☐ **B. Food Waste Disposers** - Comments:

- ☐☐☒ **C. Range Hood and Exhaust Systems** - Comments: General Electric,  
Vents to attic space, under today's building standard this should be directed to the home's exterior surfaces.

- ☒☐☐☐ **D. Ranges, Cooktops, and Ovens** - Comments: Kenmore,  
Appeared to function as intended at the time of this inspection.

- ☒☐☐☐ **E. Microwave Ovens** - Comments: General Electric, Appeared to function as intended at the time of this inspection.

- ☐☐☒ **F. Mechanical Exhaust Vents and Bathroom Heaters** - Comments: Bath vent fan vents into the attic space. Under today's building standards this should be directed to the roof's exterior surface. The removal of all moisture from attic space will deter mold and pest activities.



- ☐☐☒ **G. Garage Door Operators** - Comments:

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**G. Garage Door Operators (continued)**

Operator did not function at time of inspection. Recommend further evaluation by a licensed professional overhead door contractor.

☒☐☐☐ **H. Dryer Exhaust Systems** - Comments: Appeared to function as intended at the time of this inspection.

Periodic cleaning of dryer ducting and venting is recommended to ensure no lint buildup occurs within, as this can lead to overheating and fire related issues. In addition the clothes dryer will operate efficiently. Ducting or venting are not disassembled during this inspection, if additional concerns exist contact a licensed appliance specialist for further evaluation.

☐☐☐☐ **I. Other** - Comments:

## VI. OPTIONAL SYSTEMS

☐☐☒☐ **A. Landscape Irrigation (Sprinkler) Systems** - Comments:

☐☐☒☐ **B. Swimming Pools, Spas, Hot Tubs, And Equipment**

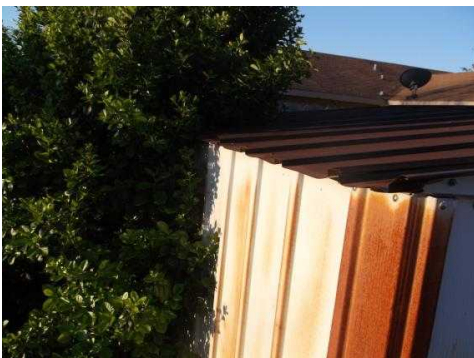
Type of Construction:

Comments:

☐☐☐☒ **C. Outbuildings** - Comments: Prefab Shed,

Rusting noted to shed exterior surfaces, consideration to a paint application is recommended to aid in longevity.

Trimming back of tree on SE corner of shed is recommended.



☐☐☒☐ **D. Private Water Wells** (A coliform analysis is recommended)

Type of Pump:

Type of Storage Equipment:

Comments:

☐☐☒☐ **E. Private Sewage Disposal (Septic) Systems**

Type of System:

Location of Drain Field:

Comments:

☐☐☐☒ **F. Other** - Comments: Smoke detectors, Minimum of one smoke detector in each sleeping area (bedroom) and any adjoining living spaces, is recommended under today's building standards. This is a safety concern, consideration should be given to the addition of this safety device.



## Summary

### I. STRUCTURAL SYSTEMS

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#### A. Foundations Poured,

Evidence of past foundation repairs are present, noted several patches in concrete drive and walks which indicated piers were placed to stabilize the foundation. Obtaining the original warranty from the foundation contractor is recommended, as warranty may be transferable to a new owner. In addition the foundation report may have a scaled drawing of the location and type of piers placed.

If additional concerns exist contact a licensed structural engineer for further evaluation and repairs.

Continued observation is recommended, If additional concerns exist contact a licensed structural engineer for further evaluation and repairs. Type of Foundation(s): slab on grade

#### B. Grading and Drainage Flat,

Home is above street grade, storm water appears to shed around the home toward the E and W sides of lot. Noted standing water in the alley or E side of lot, and along neighbors fence toward the N.

Limited guttering is present on this structure. Only on the E porch covering under today's building standards these are recommended around the entire perimeter of the home, to assist in storm water discharge, and minimize erosion.

Recommend installing splash block at the base of the downspout to minimize erosion.

It is recommended that the flow of storm water runoff not be obstructed by addition of flower beds, or walks. Under current building standards, the grading around the home should drop 6" within the first 10' on all sides of the structure.

If additional concerns exist contact a licensed building contractor for further evaluation.

#### C. Roof Covering Materials Asphalt shingle,

Recommend securing foam closures on area between E patio cover and shingled roof, to prevent any water or pest intrusions.

Recommend sealing exposed nail heads with roof sealant to ensure no water intrusions occur.

Cleaning of tree debris from the roof covering on a periodic maintenance schedule is recommended.

If additional concerns exist contact a licensed, professional roofing contractor for further evaluation.

Types(s) of Roof Covering: 20 year 3 tab shingle, Single layer, Metal Viewed From: Walked on roof

#### D. Roof Structures and Attics 2x4 Truss,

Congested gabled end vent on S side is present, recommend periodic cleaning to ensure adequate air flow inside attic space.

Attic insulation levels currently in the attic space is below the minimum level for a home built today. Today's building standard is R38 value, which is equal to approximately 18-20" of blown in loose fill type insulation. The additional insulation will help significantly reduce your energy consumption.

If additional concerns exist contact a licensed, professional building contractor for further evaluation.

Viewed From: Attic crawl space in garage. Approximate Average Depth of Insulation: 4-6" blown in rock wool, 8-10" fiberglass batt

#### E. Walls (Interior and Exterior) Drywall, Wood,

Exterior fascia damage noted in several locations, repairs are recommended and sealing with a quality paint for longevity.

Soil to siding contact is present on the S and E facades of the home. Soil should be graded to a level 3-5"

## **Summary (continued)**

E. Walls (Interior and Exterior) (continued)

below the lowest course of brick, under today's building standards.

Cracking noted on the drywall above entry to garage. This appears to be due to general settlement of the foundation in the vicinity. Continued observation is recommended.

Shrubs close to the home should be trimmed back to allow proper ventilation to the home's exterior walls. Rule of thumb keep shrubs trimmed back 10-12" from exterior veneers.

If additional concerns exist contact a licensed building contractor for further evaluation.

F. Ceilings and Floors Drywall,

Sealing the joint between the bathtub and tiled flooring is recommended to ensure no water intrusions occur.

Noted past patching of the ceiling in the living room, continued observation is recommended.

If additional concerns exist contact a licensed, professional building contractor for further evaluation.

G. Doors (Interior and Exterior) Hollow wood,

Overhead garage door upper panel is damaged, repairs are recommended by a licensed professional overhead door contractor.

Weather stripping improvements recommended to the rear E entry door to garage.

Several doors are in need of adjustment to function properly: Master closet door strikes jamb, SW bedroom closet door not properly installed, entry closet rubs the jamb.

If additional concerns exist contact a licensed building contractor for further evaluation.

H. Windows Aluminum single hung,

Windows appear to consist of the original aluminum framed single hung units. The plastic glazing strips on several on the windows have failed.

Thermal seal loss is noted on master bedroom, SW bedroom. This seal loss allows for fogging or condensate to collect between the panes of glass. Further evaluation by a professional window specialist is recommended.

SW bedroom window glass is cracked, appears to have been hit with a bb or something similar.

Window screening missing from dining, living, and master windows.

Tear noted to window screen kitchen sink area.

Cleaning of windows, tracks, and lubrication of all windows is recommended, to ease operation.

If additional concerns exist contact a licensed window specialist.

L. Other Wood fencing,

Dilapidated wood fencing is noted in several areas, recommend replacement of damaged pickets.

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## **II. ELECTRICAL SYSTEMS**

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A. Service Entrance and Panels Buried service lateral lines,

200 Amp panel located on the interior garage NE corner. Insufficient clear space directly in front of service panel. Under today's standards area must be 36" x 30".

## **Summary (continued)**

### A. Service Entrance and Panels (continued)

Open slots in the service panel cover should be sealed with appropriate plating.

Neutral and ground bonding within the service panel is present. Under today's building standards the ground and neutral conductors must terminate on separate buss bars.

One of the four screws securing the dead front cover was missing at the time of inspection.

Further evaluation by a licensed electrical contractor is recommended.

### B. Branch Circuits, Connected Devices, and Fixtures Copper,

GFCI protected outlets are needed in all restroom, kitchen (within 6' of sink basin), exterior, and garage wall outlets.

Outlet cover needed at HVAC closet outlet.

Florescent lighting in garage did not activate from wall switch. Further investigation is recommended.

Master closet and SW closet lighting did not function, possibly bad light bulb.

Globe missing from light above kitchen sink.

Further evaluation by a licensed electrical contractor is recommended. Type of Wiring: Romex

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## **IV. PLUMBING SYSTEM**

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### A. Plumbing Supply, Distribution Systems and Fixtures Copper,

Location of water meter is unknown, possibly located on alley side of lot, however this area is overgrown.

Cracking of the commode tank lid in master bath is present. Recommend replacement of damaged lid.

Greening and corrosion noted at water supply valves under kitchen sink. No leak was present at the time of inspection, continued observation is recommended.

Anti-siphon vacuum breakers are recommended under today's building standards to be used on each exterior hose bib. This will minimize the potential of contaminated potable water.

Hose bib on rear E side of home, handle was not present. Repairs are recommended by a licensed plumbing contractor.

Further evaluation by a licensed plumbing contractor is recommended. Location of water meter: Unknown

Location of main water supply valve: Unknown Static water pressure reading: 40 PSI

### C. Water Heating Equipment

Corrosion noted at the water supply connections. This indicates past water leaking issues. Continued observation is recommended.

The temperature pressure and relief valve is not properly plumbed. It is currently plumbed using PVC, this should be CPVC to withstand heat, the drain line runs uphill through the attic to a plumbing vent stack. This should be directed to the exterior of the home and only be run horizontal or in a downward fashion. Further evaluation by a licensed plumbing contractor is recommended.

No safety collection pan is present under this unit. According to today's building standards a safety collection pan is recommended under any unit that, if leaking may damage the household belongings. This unit backs up to the master closet wall. Installation of a safety collection pan is recommended, and properly plumbed to safely drain away. Contact a licensed plumbing contractor for further evaluation and repairs.

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## **Summary (continued)**

C. Water Heating Equipment (continued)

Energy Source: Electric      Capacity: 50 Gallon, 2008

### **V. APPLIANCES**

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A. Dishwashers Kenmore,

Corrosion noted on the interior dish baskets, replacement or repair is recommended.

No air gap is present on the drain line of this washer unit. This ensures no back up of water from sink basin into the lower, dish washer unit. This is recommended either by installing an air gap device, or creating an air gap using the drain tubing, in an arched fashion under the sink basin. According to today's building standards.

C. Range Hood and Exhaust Systems General Electric,

Vents to attic space, under today's building standard this should be directed to the home's exterior surfaces.

F. Mechanical Exhaust Vents and Bathroom Heaters Bath vent fan vents into the attic space. Under today's building standards this should be directed to the roofs exterior surface. The removal of all moisture from attic space will deter mold and pest activities.

G. Garage Door Operators

Operator did not function at time of inspection. Recommend further evaluation by a licensed professional overhead door contractor.

### **VI. OPTIONAL SYSTEMS**

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C. Outbuildings Prefab Shed,

Rusting noted to shed exterior surfaces, consideration to a paint application is recommended to aid in longevity.

Trimming back of tree on SE corner of shed is recommended.

F. Other Smoke detectors, Minimum of one smoke detector in each sleeping area (bedroom) and any adjoining living spaces, is recommended under today's building standards. This is a safety concern, consideration should be given to the addition of this safety device.